



**DEVELOPMENT PERMIT NO. DP001060**

**DOMUS CONSTRUCTION & LAND DEVELOPMENT CORP.**

**Name of Owner(s) of Land (Permittee)**

**1205 OCEAN PEARL TERRACE**

**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 2, DISTRICT LOT 18, WELLINGTON DISTRICT, PLAN VIP87421**

**PID No. 028-088-379**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**

**Schedule B Site Plan and Project Data**

**Schedule C Building Elevations**

**Schedule D Landscape Plan and Specifications**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

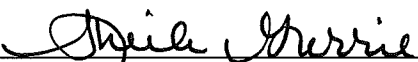
The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

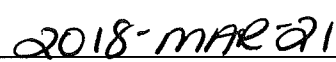
1. *Section 7.6 Size of Buildings* – to increase the maximum allowable building height from 9m to 10.05m for the five-plex, and 10.97m for the apartment building.
2. *Section 7.5.1 Siting of Buildings* – to reduce the front yard setback from 6m to 5.1m.

### CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by Ellins Architect Inc., dated 2018-JAN-30, as shown Schedule B.
2. The development is in accordance with the Building Elevations prepared by Ellins Architect Inc., dated 2018-JAN-30, as shown on Schedule C.
3. The subject property is in general compliance with the Landscape Plan and Specifications prepared by Victoria Drakeford Landscape Architect, received 2018-FEB-13 (L1) and 2017-JAN-04 (L2), as shown on Schedule D.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 19TH DAY OF MARCH, 2018.

  
Corporate Officer

  
Date

GN/In

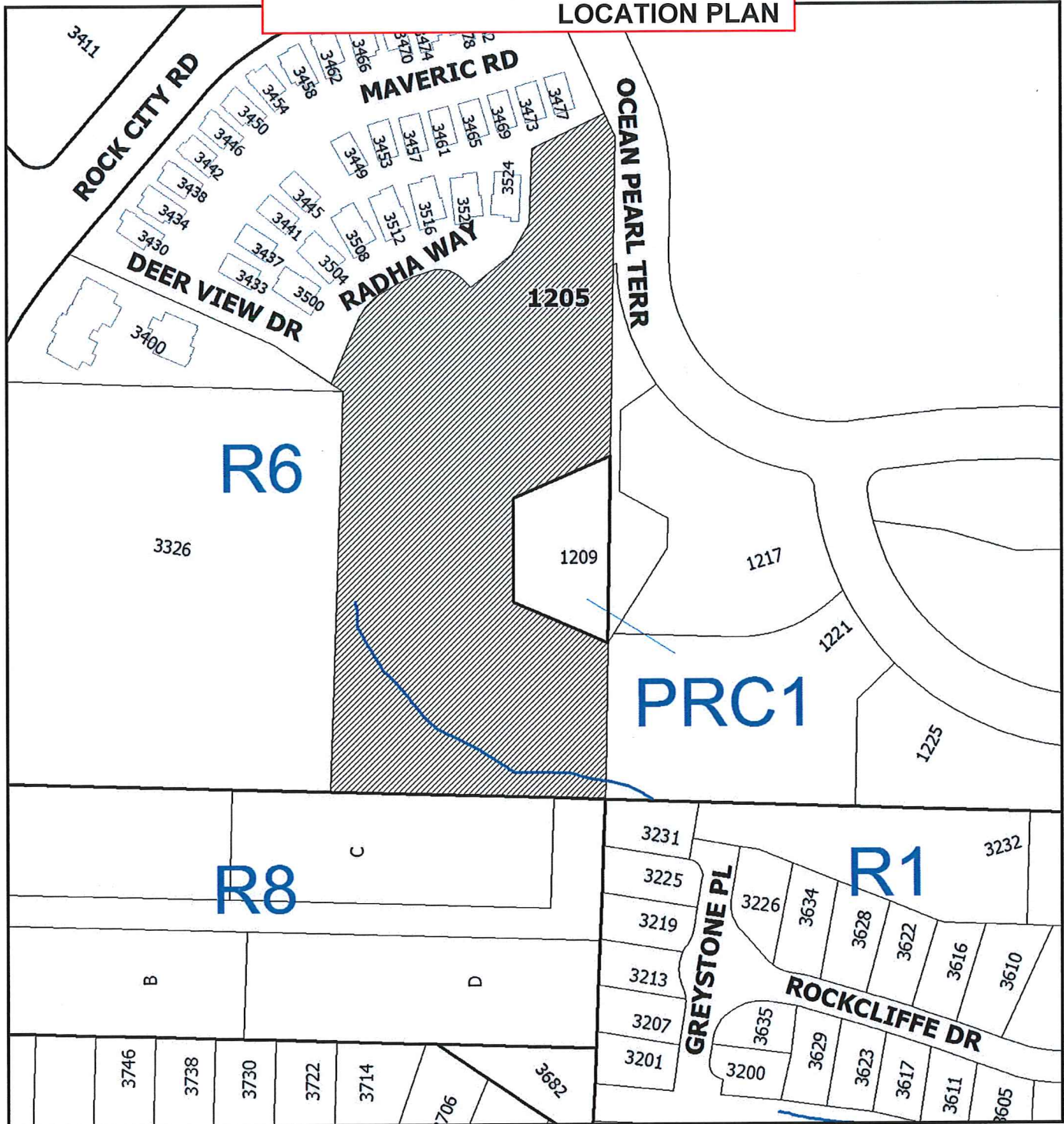
Prospero attachment: DP001060

Development Permit DP001060

Schedule A

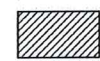
1205 Ocean Pearl Terrace

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001060

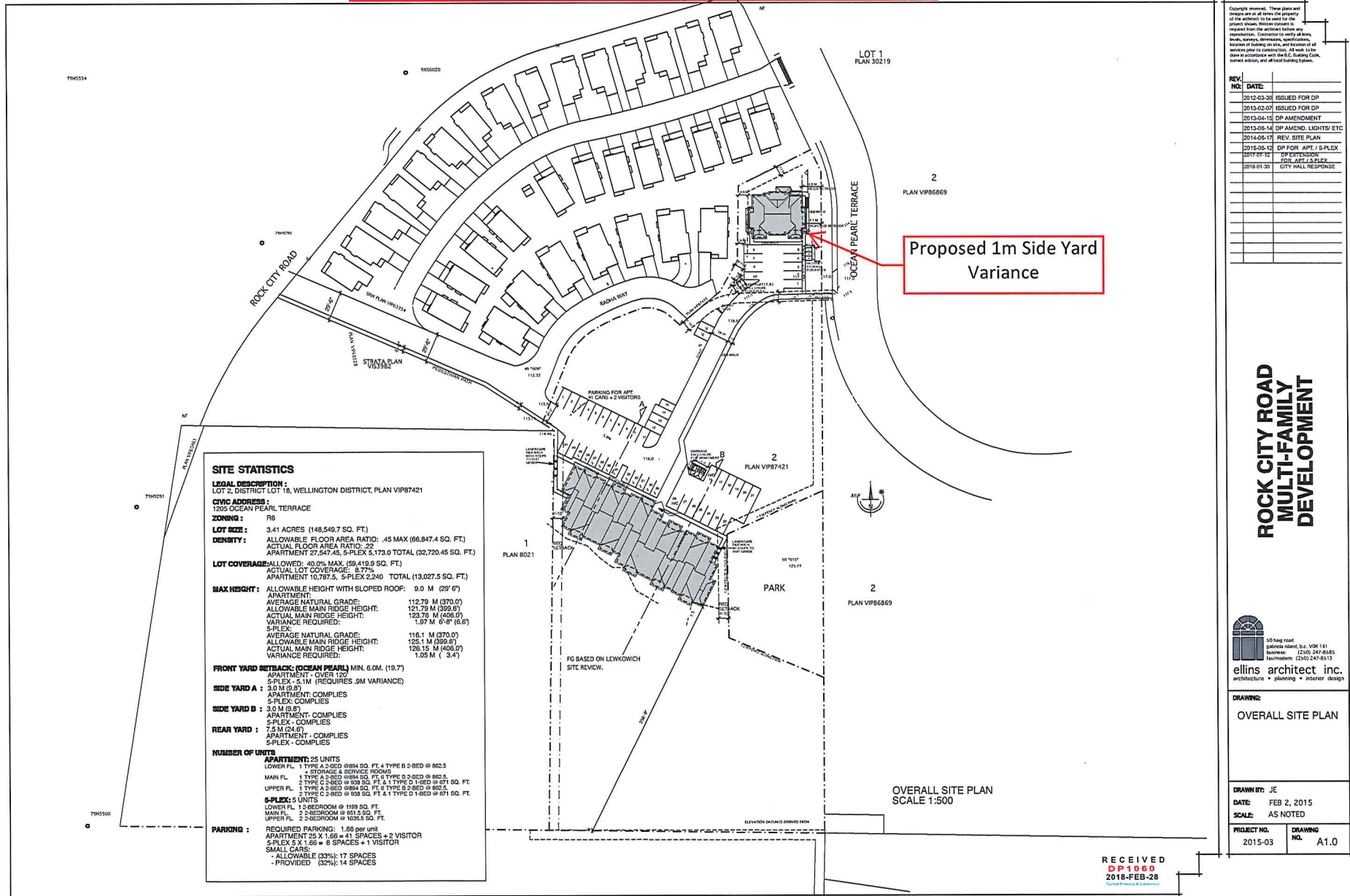
LOCATION PLAN



Subject  
Property

Civic: 1205 Ocean Pearl Terrace  
Lot 2, District Lot 18, Wellington District,  
Plan VIP87421

## SITE PLAN AND PROJECT DATA



**ROCK CITY ROAD  
MULTI-FAMILY  
DEVELOPMENT**



ellins architect inc

DRAWING:

DRAWN BY: JE

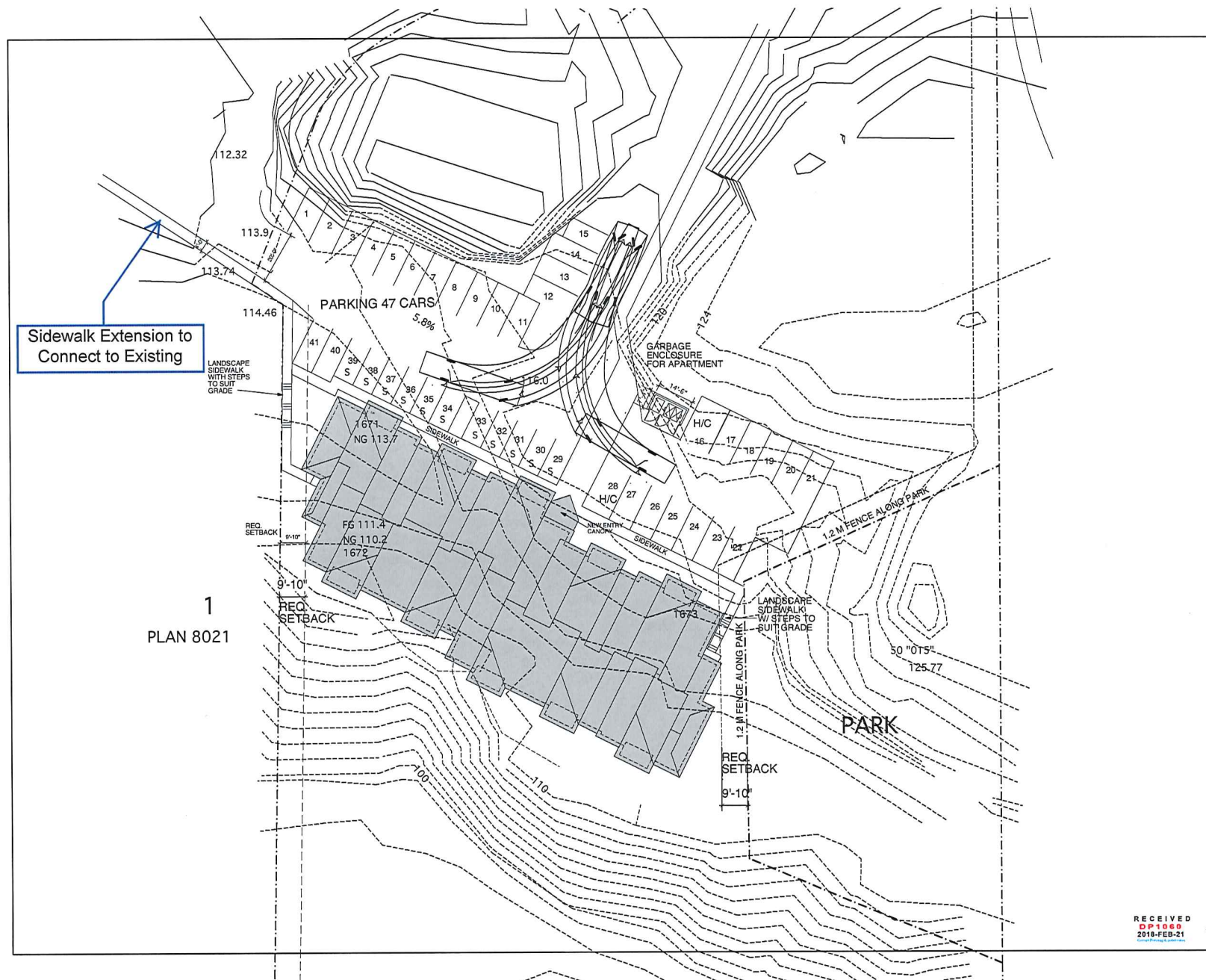
DATE: FEB 2, 2015

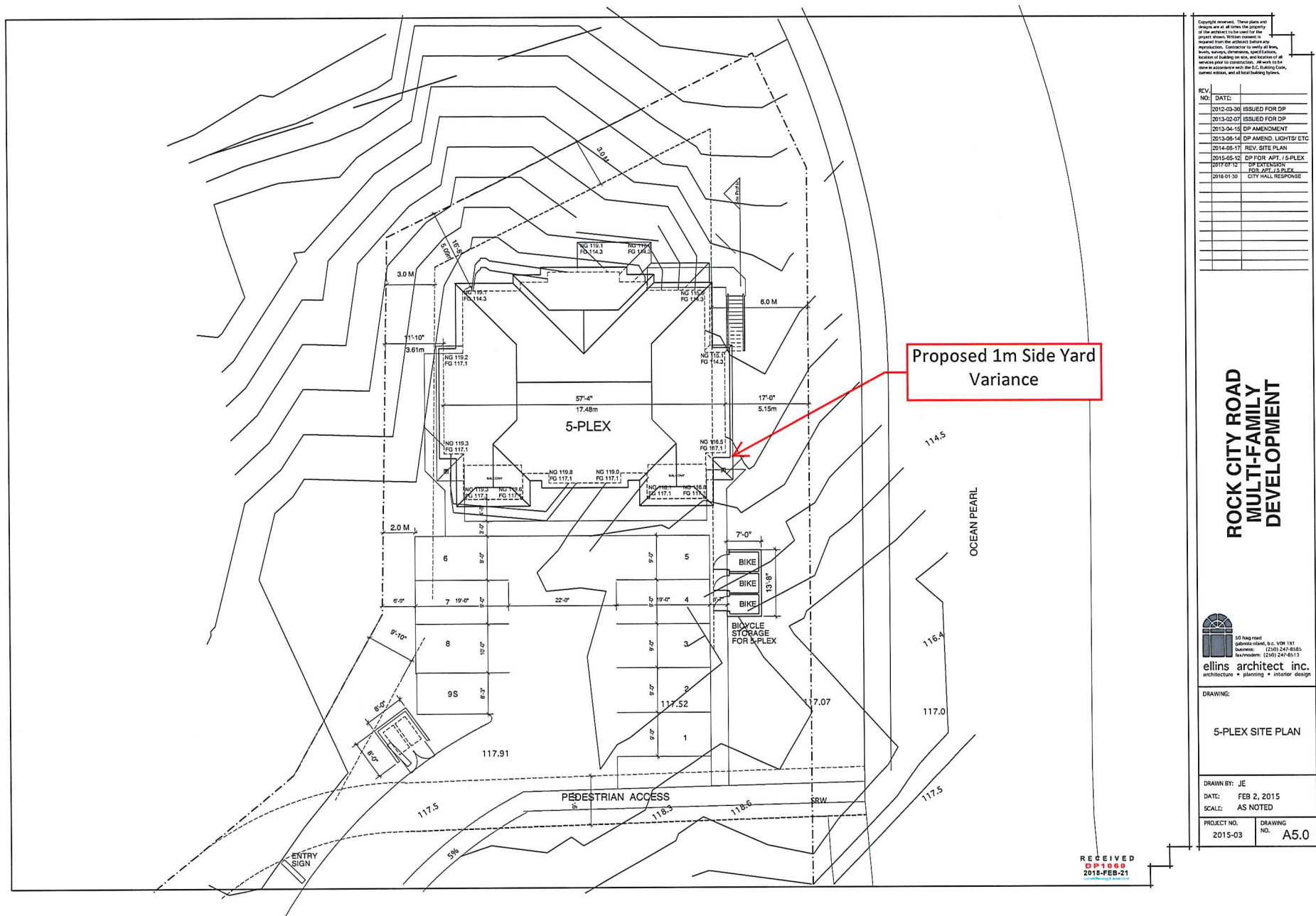
SCALE: AS NOTED

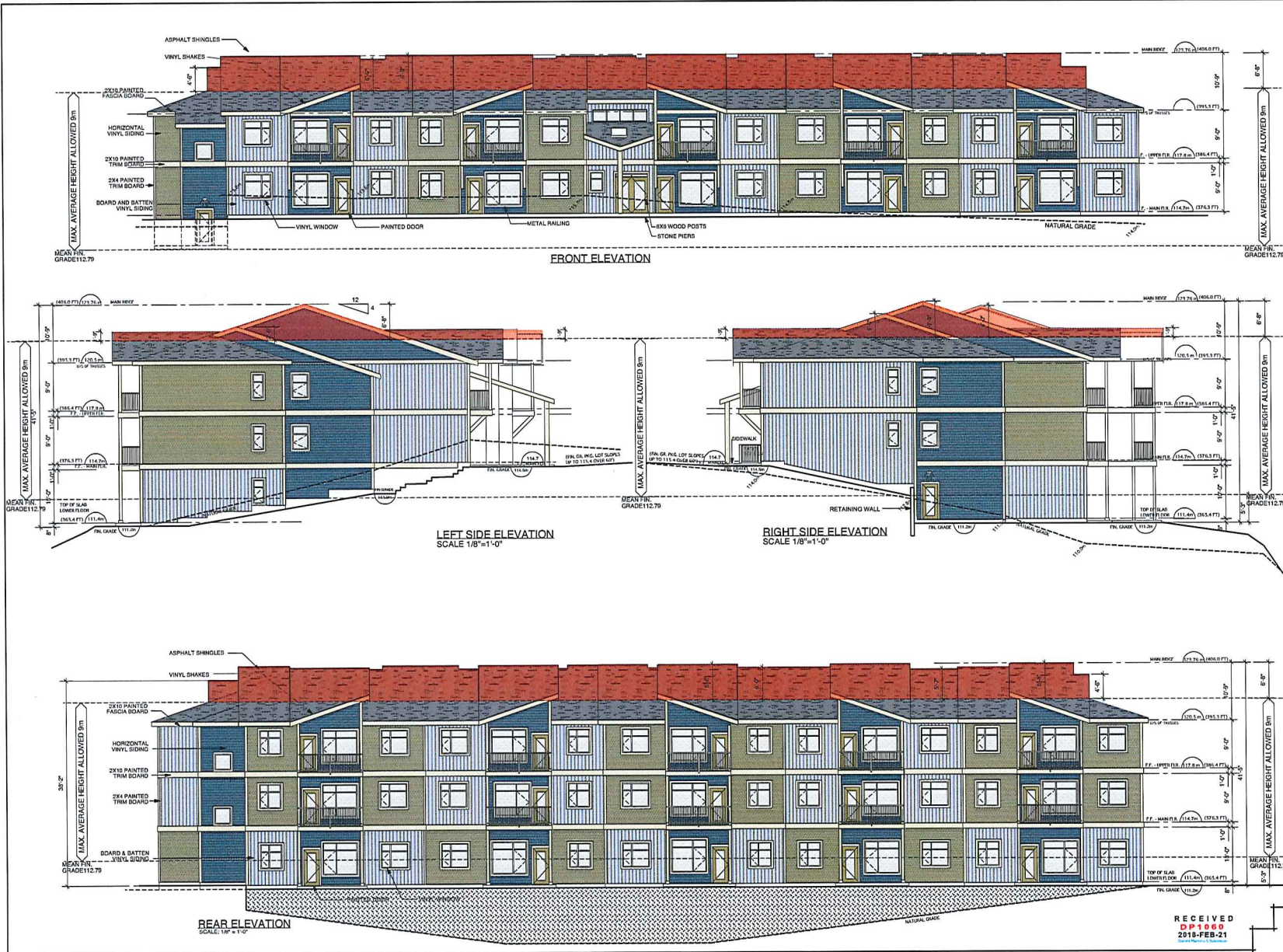
|             |         |
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| PROJECT NO. | DRAWING |
|-------------|---------|

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|-------------|-------------|
| PROJECT NO. | DRAWING NO. |
| 2015-03     |             |

RECEIVED  
DP1060  
2018-FEB-21







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| REV. NO.   | DATE                         | DESCRIPTION |
|------------|------------------------------|-------------|
| 2012-03-20 | ISSUED FOR DP                |             |
| 2013-02-07 | ISSUED FOR DP                |             |
| 2013-04-15 | DP AMENDMENT                 |             |
| 2013-06-14 | DP AMEND. LIGHTS/ETC         |             |
| 2014-06-17 | REV. SITE PLAN               |             |
| 2015-05-12 | DP FOR APT. 1-5-15           |             |
| 2017-07-17 | DP AMEND. CITY HALL RESPONSE |             |
| 2019-01-30 | CITY HALL RESPONSE           |             |

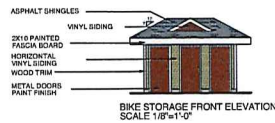
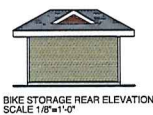
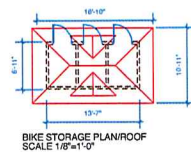
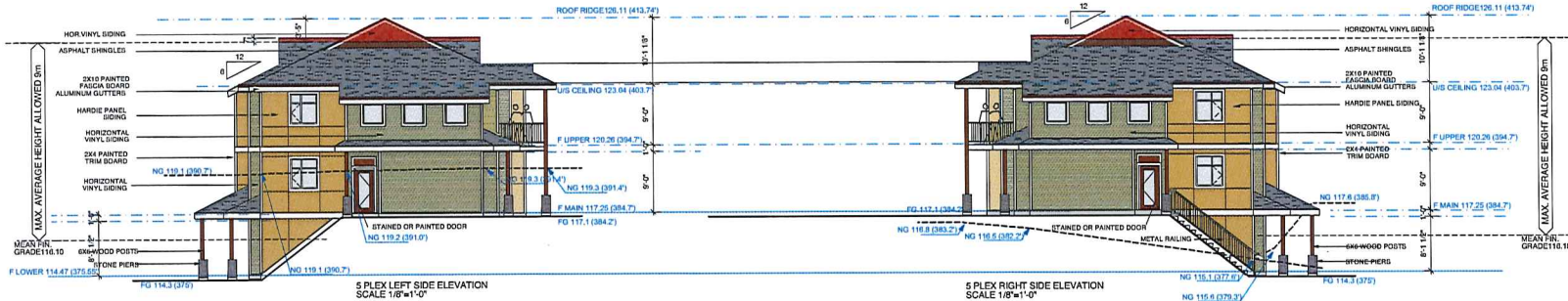
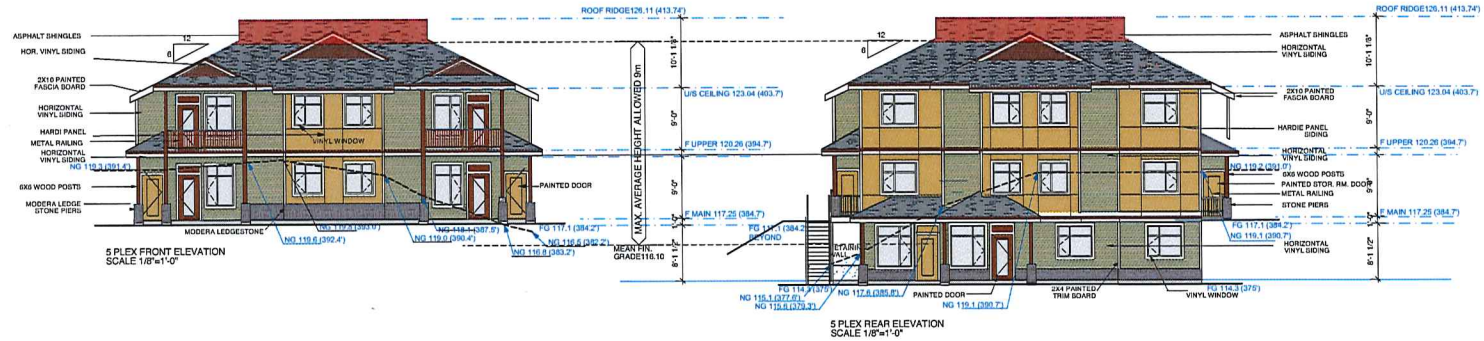
**ROCK CITY ROAD MULTI-FAMILY DEVELOPMENT**

**elins architect inc.**  
architecture • planning • interior design

DRAWING:  
**APARTMENT ELEVATIONS**

DRAWN BY: JE  
DATE: FEB 2, 2015  
SCALE: AS NOTED  
PROJECT NO. 2015-03  
DRAWING NO. A 4.0

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DP 1060  
2015-FEB-21



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| REV. | DATE       | DESCRIPTION                    |
|------|------------|--------------------------------|
| 01   | 2015-03-30 | ISSUED FOR DP                  |
| 02   | 2015-02-07 | ISSUED FOR DP                  |
| 03   | 2015-04-15 | DP AMENDMENT                   |
| 04   | 2015-05-14 | DP AMEND. LIGHTS/ETC           |
| 05   | 2014-06-17 | REV. SITE PLAN                 |
| 06   | 2015-05-12 | DP FOR APT. / 5-PLEX           |
| 07   | 2017-07-17 | DP EXTENSION FOR APT. / 5-PLEX |
| 08   | 2016-07-30 | CITY HALL RESPONSE             |

# ROCK CITY ROAD MULTI-FAMILY DEVELOPMENT

**elins architect inc.**  
architecture • planning • interior design

DRAWING:  
5 PLEX RENDERED  
EXTERIOR ELEVATIONS

DRAWN BY: JE  
DATE: FEB 2, 2015  
SCALE: AS NOTED  
PROJECT NO. 2015-03  
DRAWING NO. A7.0

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2018-FEB-21



